

# **2023-2024 Renovation & Addition**

Prepared for:

**Rantoul Township High School  
District #193  
Rantoul, IL 61866**



October 17

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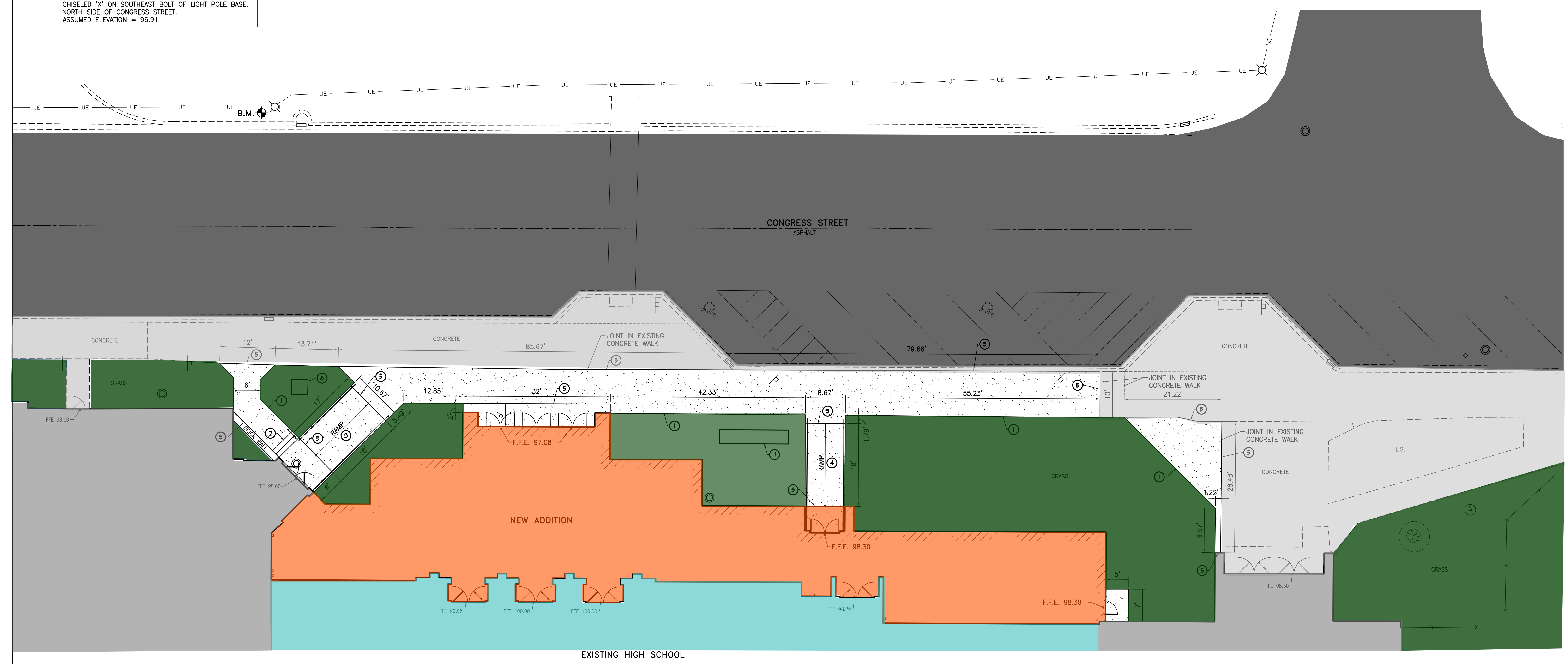
**The Upchurch Group, Inc.**

- KEYED PLAN NOTES**
- ① NEW PORTLAND CEMENT CONCRETE SIDEWALK. SEE DETAIL 1 SHEET C5.01.
  - ② NEW PORTLAND CEMENT CONCRETE STAIRS. SEE DETAIL \_ SHEET C5.01.
  - ③ NEW PORTLAND CEMENT CONCRETE RAMP. SEE DETAIL \_ SHEET C5.01.
  - ④ NEW PORTLAND CEMENT CONCRETE RAMP. SEE DETAIL \_ SHEET C5.01.
  - ⑤ NEW ISOLATION JOINT. SEE DETAIL 2 SHEET C5.01.
  - ⑥ LOCATION OF RELOCATED STATUE.
  - ⑦ LOCATION OF NEW SIGNAGE.

- GENERAL NOTES**
1. ALL EARTHWORK, AGGREGATE BASE, AND CONCRETE WORK SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, JANUARY 2022. CONTRACTOR TO PROVIDE ALL TESTING FOR EARTHWORK, AGGREGATE, AND CONCRETE WORK.
  2. CONCRETE SHALL BE IDOT CLASS SI IN ACCORDANCE WITH ARTICLE 1020 OF THE IDOT STANDARD SPECIFICATIONS AND FROM AN IDOT APPROVED REDI-MIX PLANT, WITH A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI IN 14 DAYS. SLUMP SHALL BE BETWEEN 2" AND 4" AND AIR SHALL BE BETWEEN 5.0% AND 8.0%. CURING SHALL BE APPLIED IMMEDIATELY AFTER THE INITIAL SET IN ACCORDANCE WITH ARTICLE 1020.13 OF THE IDOT STANDARD SPECIFICATIONS, JANUARY 2022 EDITION.
  3. SUBGRADE SHALL BE COMPACTED IN ACCORDANCE WITH ARTICLE 301.04 OF THE IDOT STANDARD SPECIFICATIONS, EXCEPT PROOF-ROLLING MAY BE USED IN LIEU OF OTHER TESTING METHODS.
  4. AGGREGATE BASE SHALL BE CA-6 OR CA-10 IN ACCORDANCE WITH ARTICLE 1004.04 OF THE IDOT STANDARD SPECIFICATIONS AND FROM AN IDOT APPROVED SOURCE. THE GRANULAR MATERIAL SHALL BE MIXED WITH WATER THROUGH A CONTROLLED AGGREGATE MIXING SYSTEM. THE AGGREGATE BASE SHALL BE COMPACTED TO NOT LESS THAN 95% STANDARD LABORATORY DENSITY AS DETERMINED BY AASHTO T 99 (METHOD C).
  5. PLACE TOPSOIL IN ALL DISTURBED AREAS WHERE SEEDING, SODDING, AND PLANTING WILL BE PERFORMED.
  6. ISOLATION JOINTS SHALL BE CONSTRUCTED AS PER THE PROJECT DETAILS. WHERE THE PAVEMENT IS CONSTRUCTED ADJACENT TO PAVEMENT OR CURB HAVING ISOLATION JOINTS, THE ISOLATION JOINTS IN THE CONCRETE SHALL BE PLACED IN LINE WITH THE EXISTING ISOLATION JOINTS AS NEARLY AS PRACTICABLE. ISOLATION JOINTS SHALL ALSO BE PLACED WHERE THE PAVEMENT ABUTS EXISTING SIDEWALKS, BUILDINGS, BETWEEN DRIVEWAY PAVEMENT AND SIDEWALK, AND BETWEEN SIDEWALK ACCESSIBILITY RAMPS AND CURBS WHERE THE RAMP ABUTS A CURB.

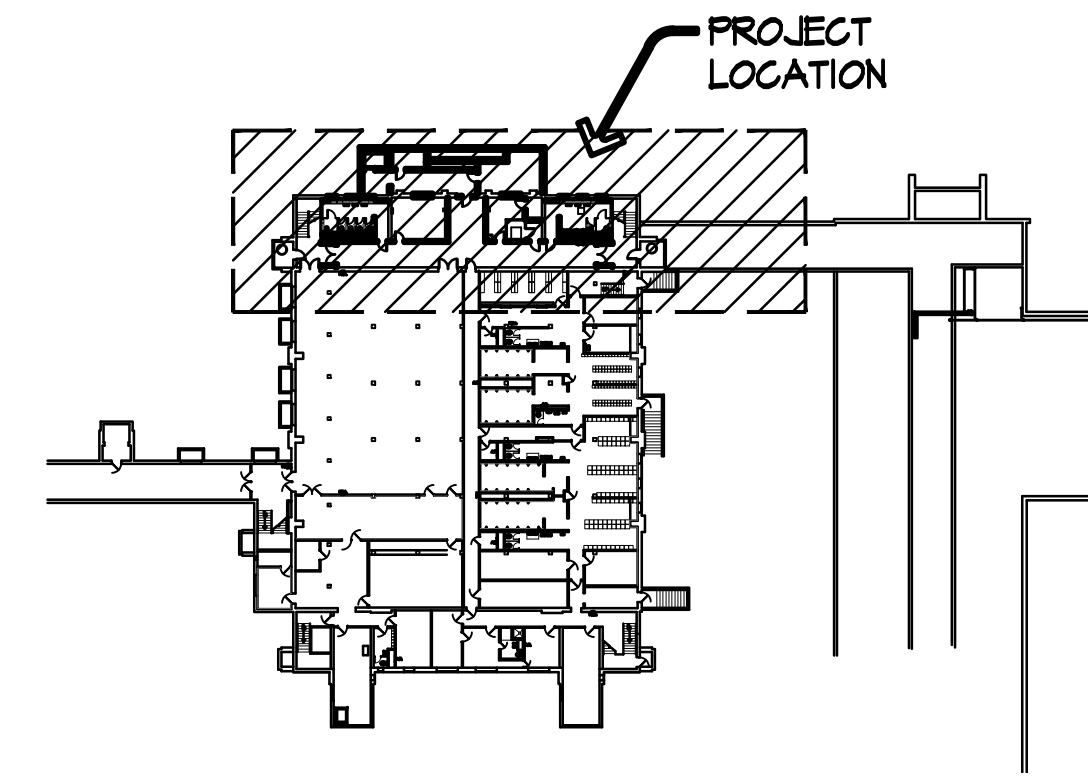
- Phase 1
- Phase 2
- Existing Building No Work

**BENCH MARK:**  
 CHISELED "X" ON SOUTHEAST BOLT OF LIGHT POLE BASE.  
 NORTH SIDE OF CONGRESS STREET.  
 ASSUMED ELEVATION = 96.91



**A SITE PLAN LAYOUT**  
 SCALE: 1" = 10'-0"

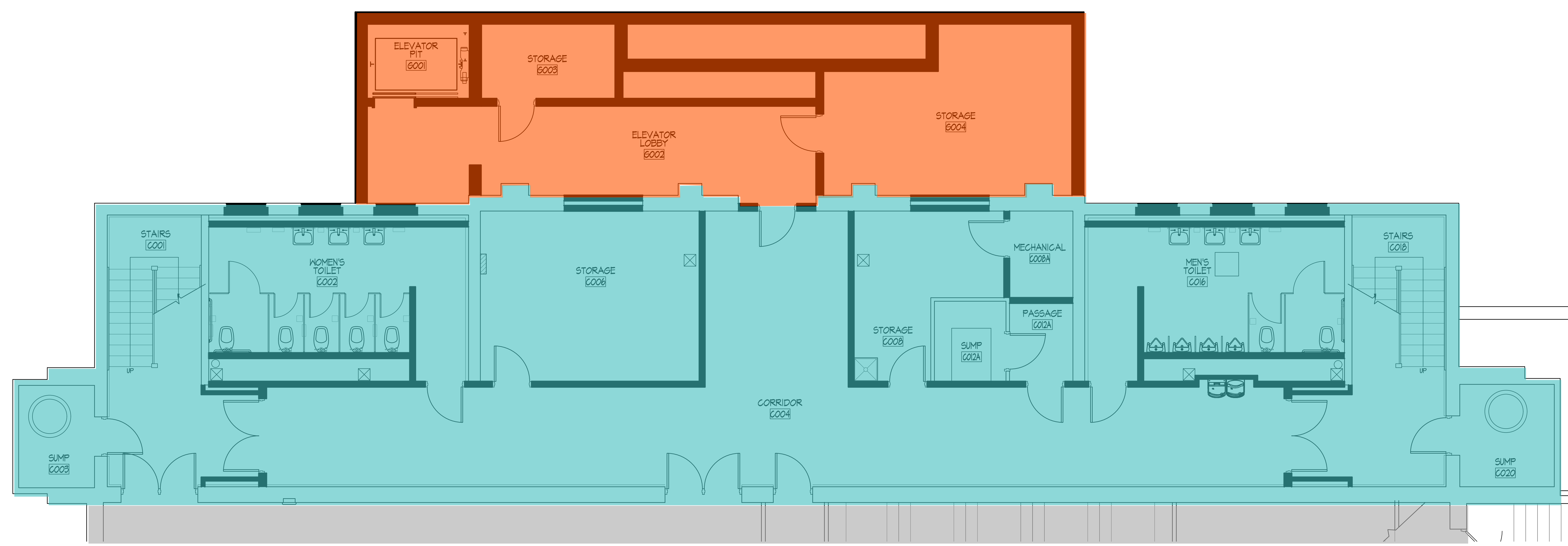
The Contractor shall obtain and verify all dimensions and conditions at job site and be fully responsible for same.



**KEY PLAN - BASEMENT**

**BASEMENT PLAN**

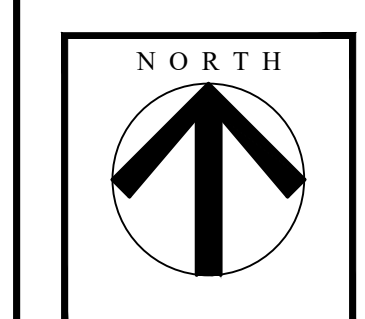
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No Work



**A PARTIAL BASEMENT FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

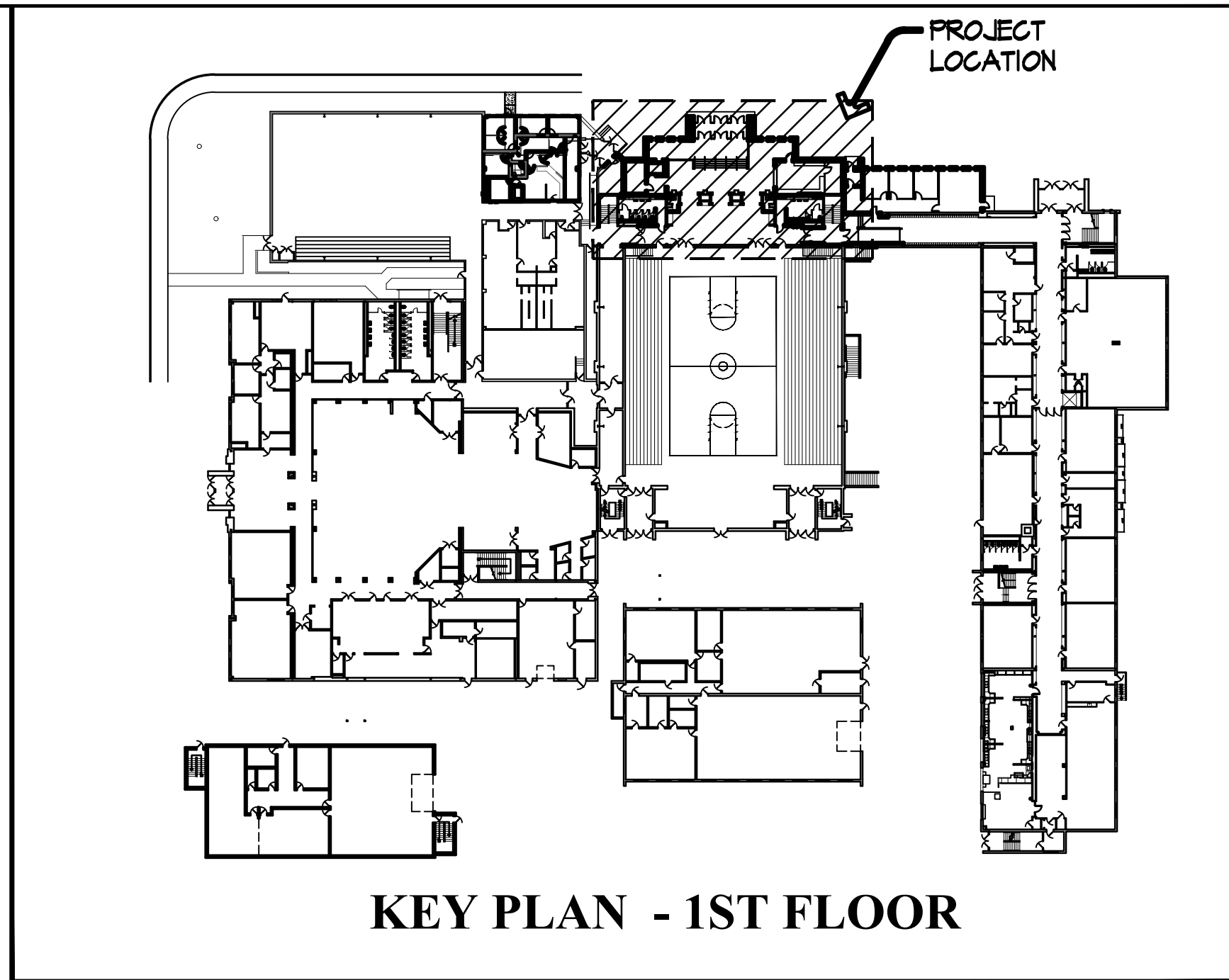
**Rantoul Township High School District #193**  
**2023/2024 High School Addition & Renovation**  
 Rantoul High School  
 Rantoul, Champaign County, Illinois

Drawn: \_\_\_\_\_  
 Date: **Oct 17, 2022**  
 Project No.: **2121091**



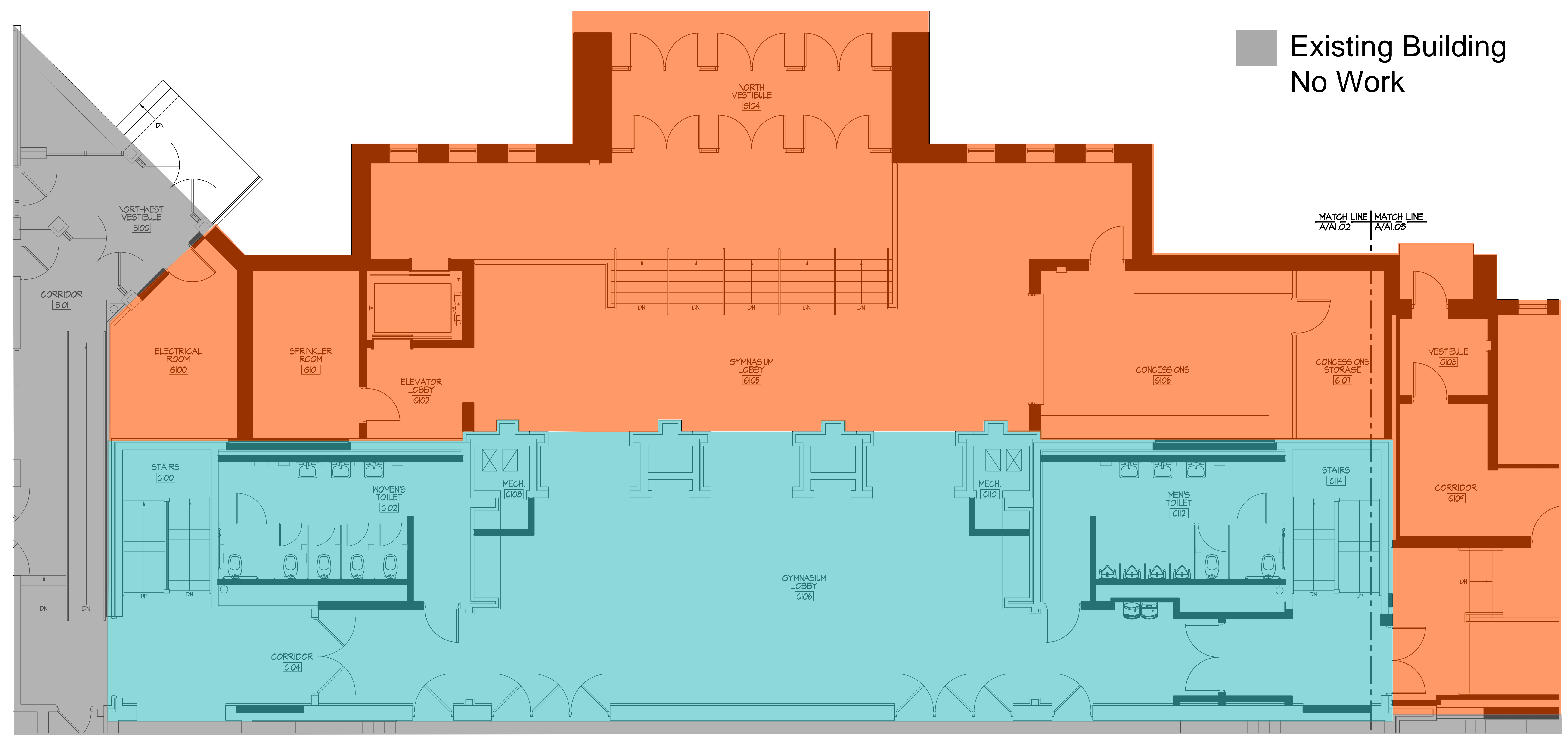
sheet no.  
**A1.01**

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**FIRST FLOOR PLAN**

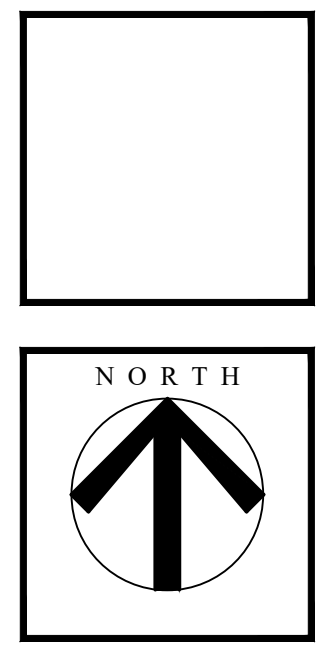
- Phase 1
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**A PARTIAL FIRST FLOOR PLAN**  
 A1.02 SCALE: 1/4" = 1'-0"

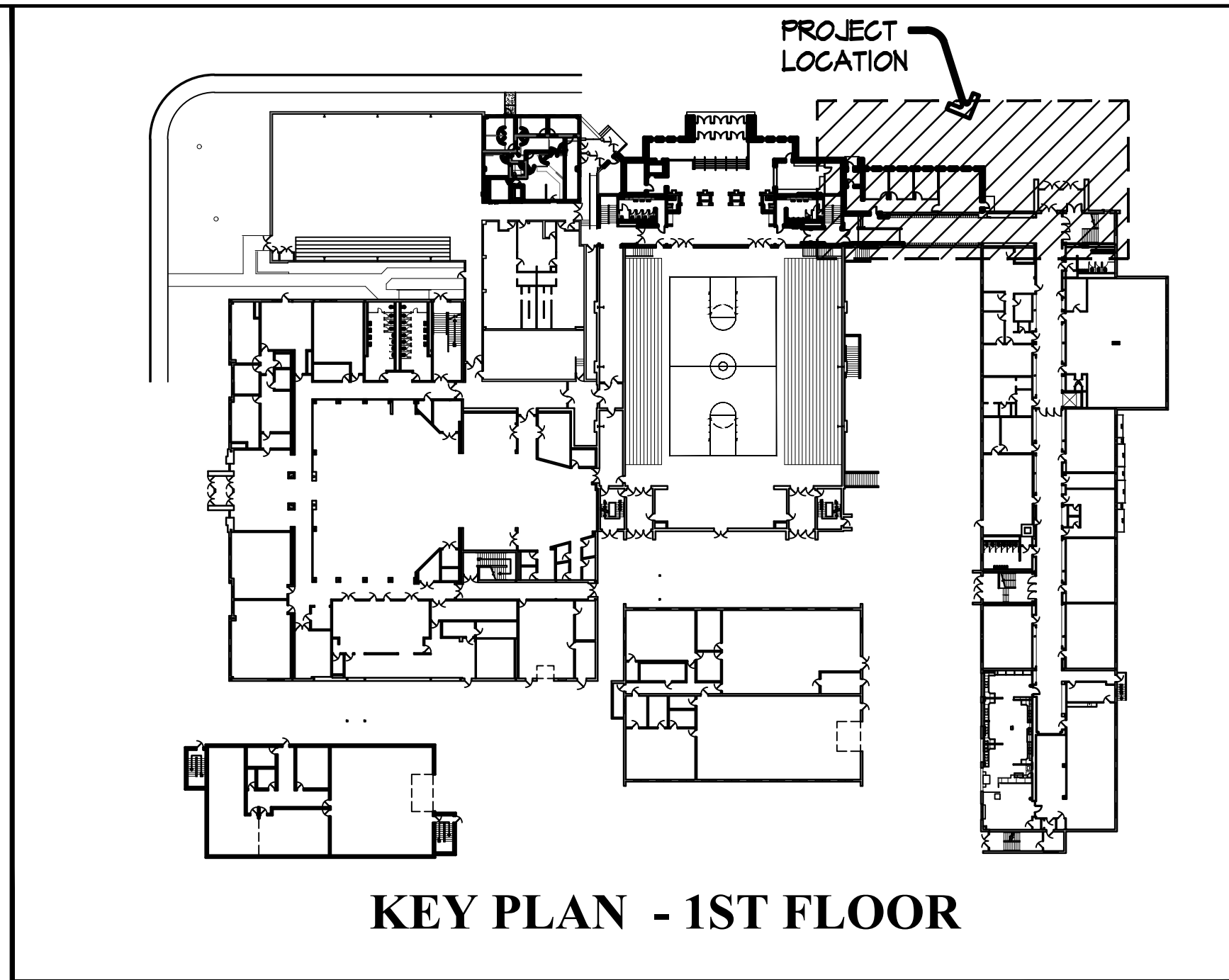
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 Date: Oct. 17, 2022  
 Project No.: 2121041



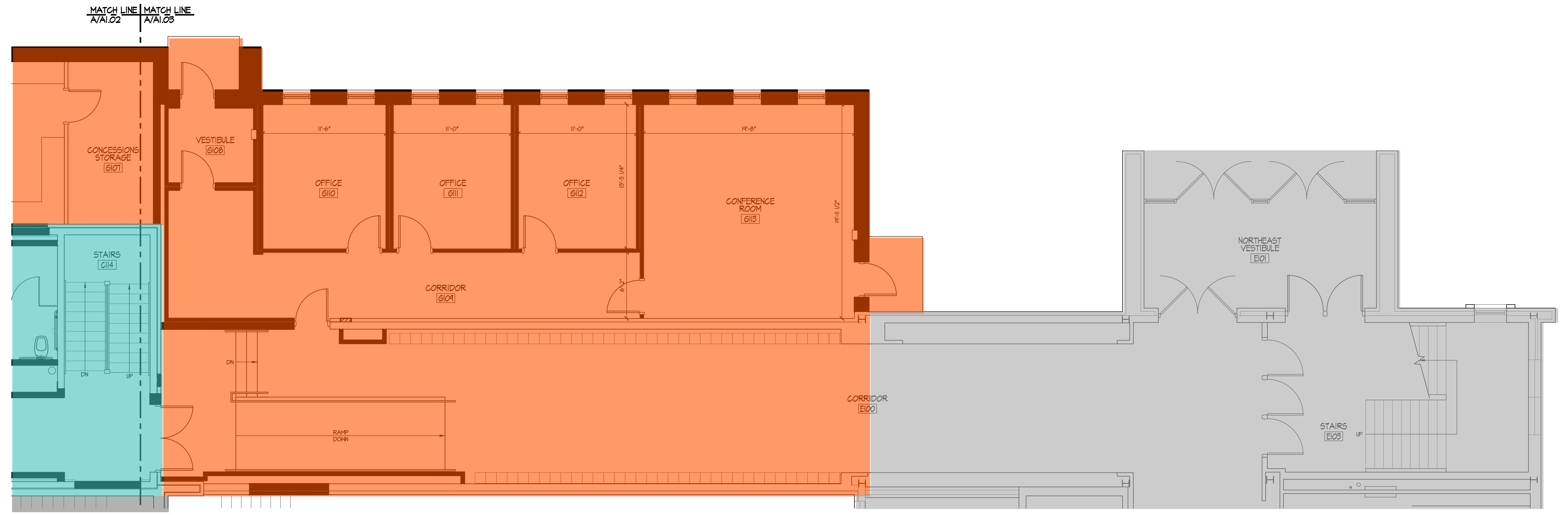
sheet no.  
**A1.02**

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FIRST FLOOR  
 PLAN

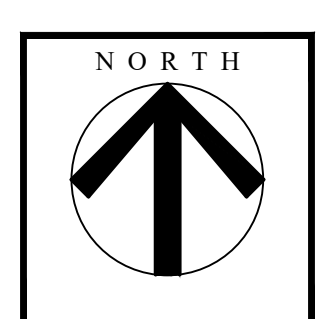
- Phase 1
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No Work



**A PARTIAL FIRST FLOOR PLAN**  
 A1.03 SCALE: 1/4" = 1'-0"

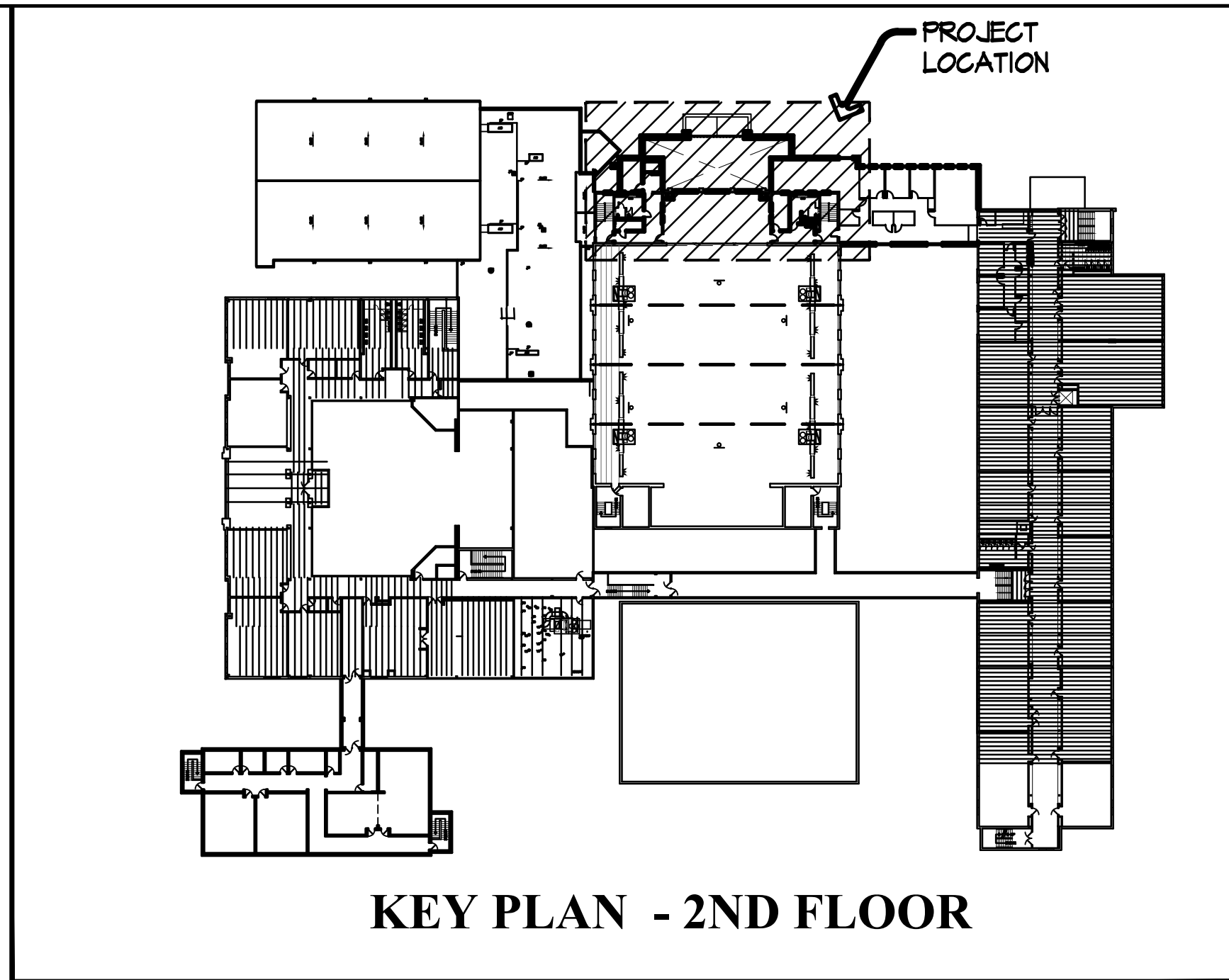
Rantoul Township High School #193  
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Drawn: **A. Eding**  
 Date: **October 4, 2022**  
 Project No.: **2121041**



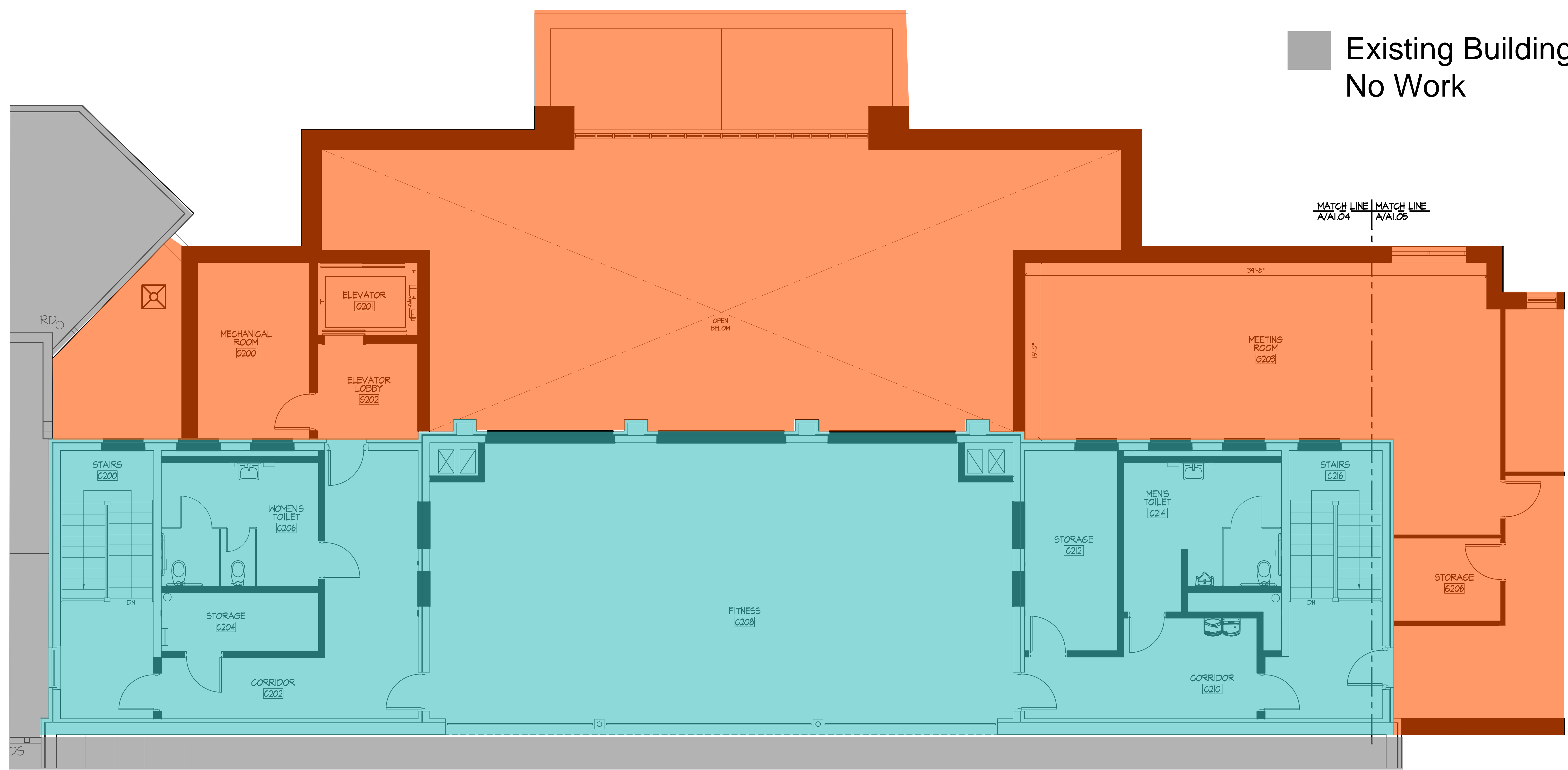
sheet no.  
**A1.03**

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SECOND FLOOR PLAN

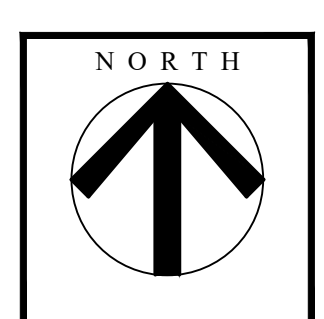
- Phase 1
- Phase 2
- Existing Building No Work



**A PARTIAL SECOND FLOOR PLAN - PHASE 1 & 2**  
 A1.04 SCALE: 1/4" = 1'-0"

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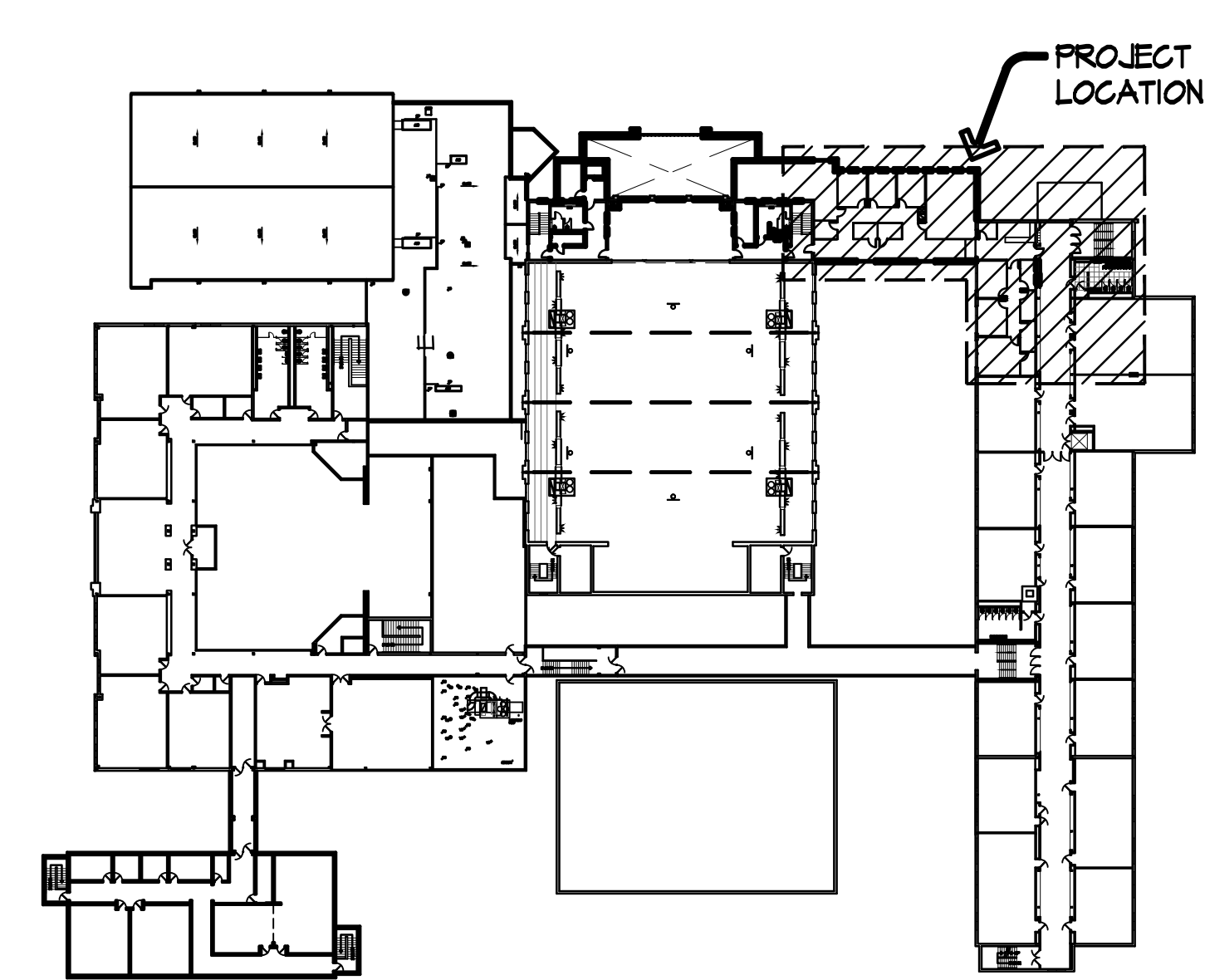
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sheet no.  
**A1.04**

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No Work

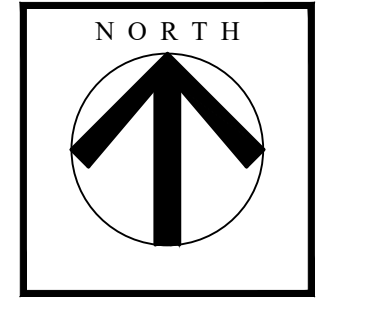
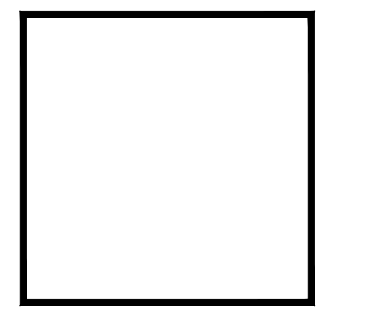


KEY PLAN - 2ND FLOOR

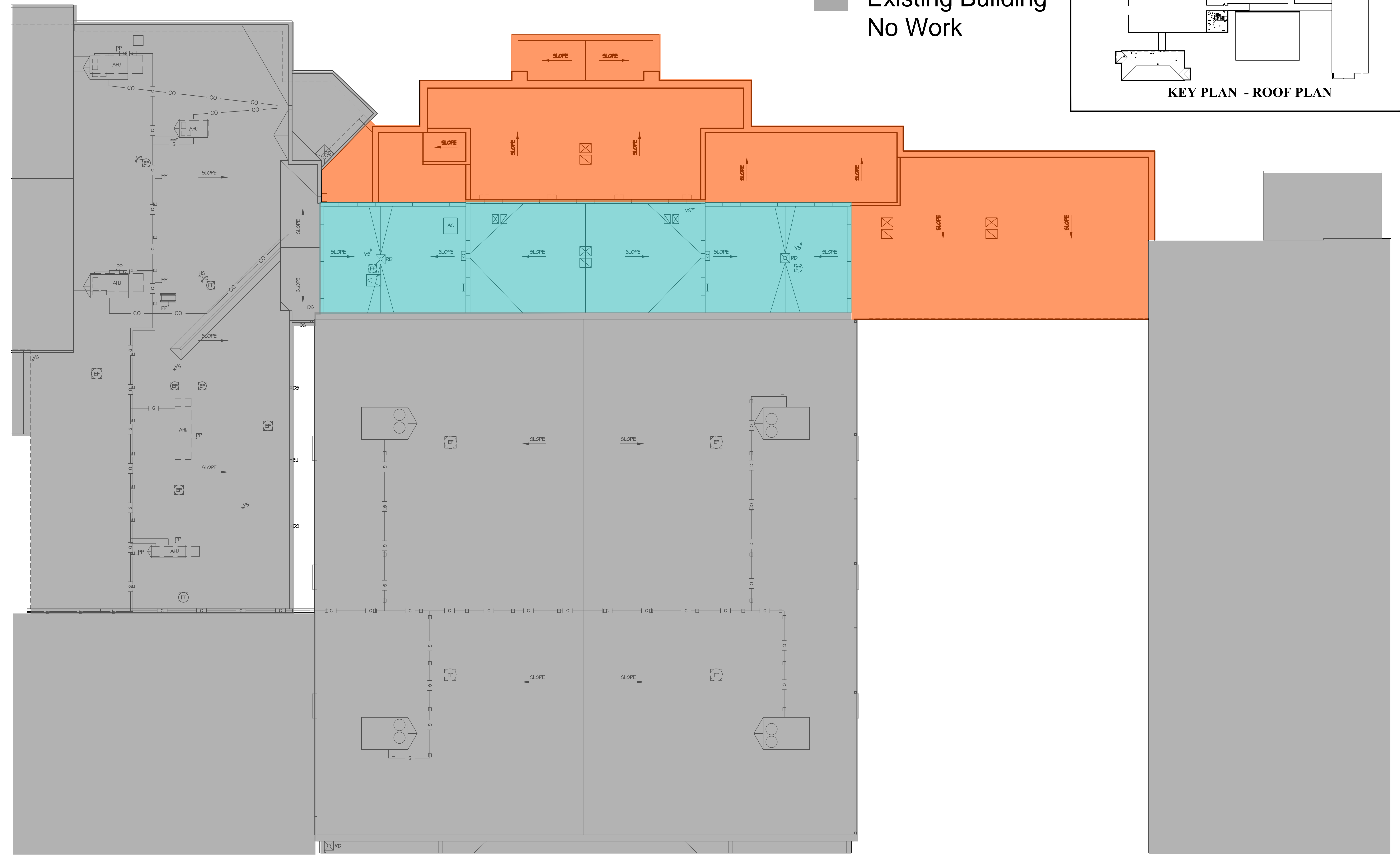
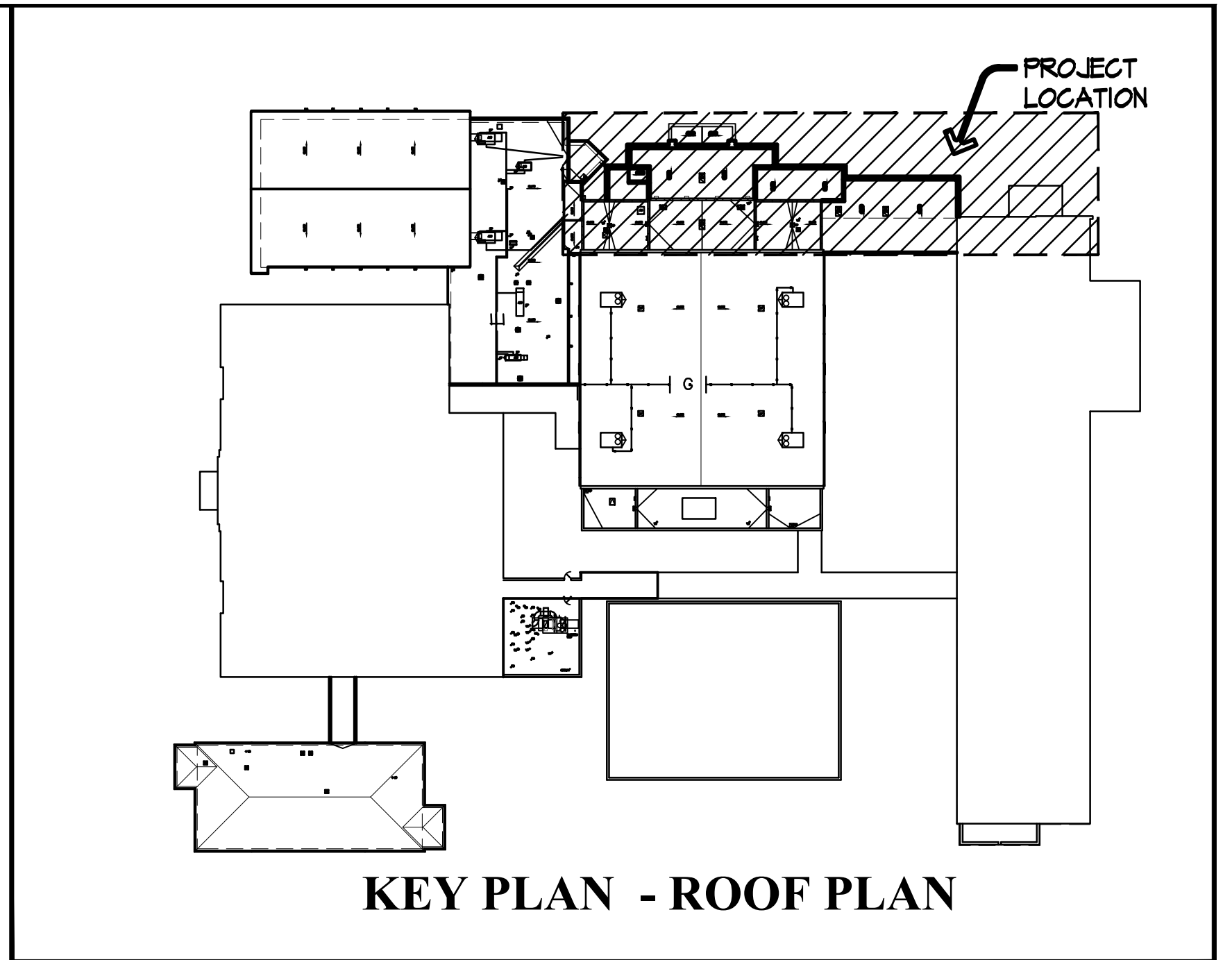


**A PARTIAL SECOND FLOOR PLAN - PHASE I & 2**  
SCALE: 1/4" = 1'-0"

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- Phase 1
- Phase 2
- Existing Building  
No Work



**A PARTIAL ROOF PLAN - PHASE 1 & 2**  
SCALE: 1/8" = 1'-0"

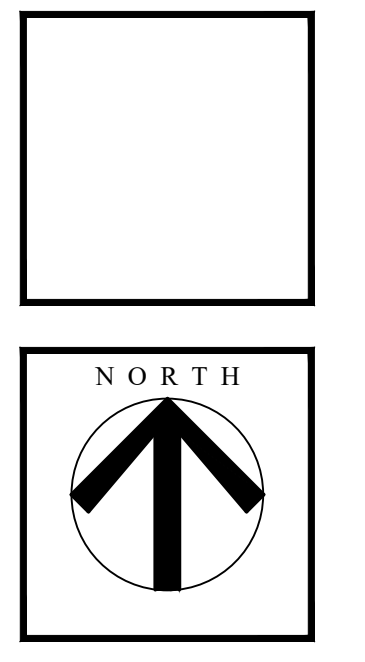
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**The Upchurch Group**  
 architects  
 engineers  
 surveyors  
 123 North 15th Street  
 Mattoon, IL 61938  
 Phone: 217-233-3177  
 upchurchgroup@upchurchgroup.com  
 upchurchgroup.com  
 Professional Design  
 Firm Corporation  
 License No. 184-003403

**PARTIAL ROOF PLAN  
 PHASE 1 & 2**

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sheet no.  
**A1.06**



# The Upchurch Group, Inc.

123 North 15th Street

Mattoon, Illinois 61938

Phone 217.235.3177

upchurchgroup@upchurchgroup.com

## Schedule for Gymnasium Entry Renovation – Phase 1

Design Complete	January 2023	
Bidding	February 2023	(3 Weeks)
Contracts, Insurance, & Bonds	March 2023	(4 Weeks)
Shop Drawings	April/May 2023	(8 Weeks)
Start Construction	June 5, 2023	
Substantial Completion	September 29, 2023	(4 Months)

## Schedule for Gymnasium Entry/Office Addition – Phase 2

Design Complete	November 2023	
Bidding	December 2023	(4 Weeks)
Contracts, Insurance, & Bonds	January 2024	(4 Weeks)
Shop Drawings	January/February 2024	(8 Weeks)
Start Construction	March 2024	
Substantial Completion	March 2025	(12 Months)

## Estimated Cost of Construction

	Phase 1:	Phase 2:
Estimated Construction Costs:	\$2,000,000	\$4,300,000
Contingency (10%):	\$ 200,000	\$ 430,000
A/E Fee (10%):	\$ 200,000	\$ 430,000
<b>Total Estimated Project Cost:</b>	<b>\$2,400,000</b>	<b>\$5,160,000</b>